



LISTING PACKAGE

DATE: August 14, 2018

LP2018-2404

PREPARED FOR: **Meyeres Real Estate
627 Gaffney Road, Ste. 201
Fairbanks, AK 99701
Attn: Audrey Foldoe**

PROPERTY OWNER: **STORMONT**

STREET ADDRESS: **7271 RICHARDSON HWY**

LEGAL DESCRIPTION: **Lot 6, BOONDOX SUBDIVISION, RESURVEY,
Plat No. 68-7948**

Thank you for using Yukon Title Company, Inc.



**Logan Bartels
Customer Service**

NOTICE OF DISCLAIMER OF LIABILITY

YUKON TITLE COMPANY, INC. • 714 Gaffney Road • Fairbanks, Alaska 99701 • Phone: 907-456-3474 • Fax: 907-456-3476

This letter and the accompanying materials do not constitute a Policy of Title Insurance or a Commitment for Title Insurance. Further, it is not an Abstract of Title. These materials are furnished as a courtesy by Yukon Title Company, Inc. and the Company does not take responsibility for the completeness or the accuracy of the materials. If you desire a complete report on the status of title, please contact Yukon Title Company, Inc. to arrange for a Commitment or Policy. No transaction or decision should be made based on these materials until such time as the Company has the opportunity to perform a complete search and is prepared to issue a Policy.

LISTING PACKAGE

A. The following information has been obtained from the Fairbanks North Star Borough records:

REAL PROPERTY TAXES:

2018 Assessed Value:

PAN No.:	119741	Tax Amount:	\$3,012.70
Land:	\$13,408	Misc. Improvement:	N/A
Building:	\$188,058	Total Assessed Value:	\$201,466

*The first half of taxes for 2018 are due September 1, 2018; delinquent September 2, 2018; Second half of taxes are due November 1, 2018; delinquent November 2, 2018.

PARCEL SIZE: 33,105.6 Sq. Feet

ZONING: GU-1 (See attached information sheet)

RECORDING DISTRICT: 401

B. There are no covenants that apply to this property. *NOTE: Covenants and restrictions may be contained in individual deeds, of which we make no search.

C. There is no As Built Survey available.

The following information has been obtained from Yukon Title Company, Inc. records:

1. Last Deed of Record recorded as Instrument No. 2001-017528-0 to:

MICHAEL C. STORMONT

2. Notes and /or Easements as Stated on the Plat.
3. Plat Map
4. Building Details

Property Summary

[back to Search Page](#)

PAN	PROPERTY PHYSICAL DESCRIPTION - DO NOT RELY ON AS A LEGAL DESCRIPTION		
0119741	LOT 6 BOON DOX		
NEIGHBORHOOD	BUSINESS	PROPERTY CLASS	
0502 Salcha-Moose Creek	BOON DOX BAR 33 MILE RICH HWY	Commercial	
MILLAGE GROUP	MOST RECENT MILLAGE RATE	STATUS	
0295 BOON DOX	14.9540	TAXABLE	
FIRE SERVICE AREA		ADDITIONAL INFORMATION	
Not within a fire service area.		Building Details	
		View Property Location	

LAND AREA

Parcel
Lot 6 33105.6 Square Feet

OWNER

NAME	INTEREST	SITUS ADDRESS
STORMONT, MICHAEL C	OWNERSHIP	7271 RICHARDSON HWY

ADDRESS

Documents

Documents are current as of 12-31-2016

The FNSB provides a link to view the recorded document at the State of Alaska Recorders Office through the instrument #. Current registered documents **not** showing may be seen at the State of [Alaska Recorders Office Search](#) page. The FNSB has no control over the contents posted on any external web sites and these sites may have separate terms of use and privacy policies. The inclusion of this web link does not imply endorsement by the FNSB of the site, its content, advertisers or sponsors.

DESCRIPTION	RECORD DATE	BOOK	PAGE	INSTRUMENT #
Record Survey	12/20/2017			2017-021414-0
Warranty Deed	9/4/2001			2001-017528-0
Multi-Parcel Deed of Trust	9/4/2001			2001-017529-0

Assessment History

For questions regarding assessments, contact the FNSB Department of Assessing at 907-459-1428.

YEAR	LAND	STRUCTURES ETC.	FULL VALUE TOTAL	EXEMPTIONS TOTAL	TAXABLE
2018	\$13,408	\$188,058	\$201,466	\$0	\$201,466
2017	\$13,408	\$188,058	\$201,466	\$0	\$201,466
2016	\$13,408	\$188,058	\$201,466	\$0	\$201,466
2015	\$13,408	\$188,058	\$201,466	\$0	\$201,466
2014	\$13,408	\$188,058	\$201,466	\$0	\$201,466

[Pay Property Taxes by credit card](#)

Tax History (Updated: 08/14/18 03:50 AM AST)

If taxes are delinquent the interest calculation date is: 9/4/2018. All prior year delinquent payments must be made with guaranteed funds.

For payments made after the due dates, please call the FNSB Division of Treasury and Budget at 907-459-1441 for the correct amount.

YEAR	TAX LEVIED	STATE EXEMPTED	FEES	TOTAL DUE	TOTAL PAID	NET DUE
2018	\$3,012.70	\$0.00	\$0.00	\$3,012.70	\$0.00	\$3,012.70
2017	\$2,787.06	\$0.00	\$73.34	\$2,860.40	\$2,860.40	\$0.00
2016	\$2,684.94	\$0.00	\$0.00	\$2,684.94	\$2,684.94	\$0.00
2015	\$2,710.92	\$0.00	\$0.00	\$2,710.92	\$2,710.92	\$0.00
2014	\$2,649.08	\$0.00	\$0.00	\$2,649.08	\$2,649.08	\$0.00

Building Details for PAN 0119741

Building General Features

#	YEAR BUILT	DESCRIPTION	ARCHITECTURE	CATEGORY
---	------------	-------------	--------------	----------

View Details	1 1999	Wood, Open Steel	Commercial	Standard Commercial
------------------------------	--------	------------------	------------	---------------------

Amenities

QUANTITY

SECTIONID	FOOTPRINT	STORIES	PERIMETER	DESCRIPTION	
				INTERIORDESC	WALLTYPE
1	2244	1	200	Clubhouse	Wd/Stl Fr,Text.Plywd,Lap

Primary Details

SECTIONID

SECTIONID	FOOTPRINT	SECTIONDESC	
		SECTIONDESC	SECTIONDESC
2	80	Open Por	Finished
3	80	Open Por	Finished
4	1031		Deck

6

6

6

Chapter 18.84 GU-1 GENERAL USE DISTRICT

Sections:

- 18.84.010 Intent.
- 18.84.020 Use regulations.
- 18.84.030 Standards.

18.84.010 Intent.

This district is intended to be located in rural areas where community sewer and water systems are unavailable. (Ord. 88-010 § 2, 1988. 2004 Code § 18.44.010.)

18.84.020 Use regulations.

A. Permitted Uses. In the GU-1, general use district, permitted uses are:

1. Shooting range, outdoor permitted; and any use except for correctional facilities.

B. Conditional Uses. In the GU-1, general use district, conditional uses are:

1. Sexually oriented businesses;
2. Biosolids application when used for agricultural purposes or beneficial land application;
3. Large scale development;
4. Marijuana cultivation facility, outdoor unlimited;
5. Marijuana product manufacturing facility, unlimited;
6. Nuclear power plant;
7. Petrochemical plant;
8. Petroleum refinery and storage;
9. Residential cluster development;
10. Sanitary landfill;
11. Shooting range, outdoor;
12. Storage of hazardous substances as the principal use of the property or which are unrelated to those uses that are either permitted outright or conditionally in this zoning district. (Ord. 2015-67 §§ 12, 13, 2016; Ord. 2015-41 § 16, 2015; Ord. 2015-26 § 6, 2015; Ord. 2012-58 §§ 3, 5, 2013; Ord. 2006-82 § 7, 2007; Ord. 94-066 § 2, 1994; Ord. 93-064 § 6, 1994; Ord. 92-006 § 2, 1992; Ord. 90-007 § 2, 1990; Ord. 88-010 § 2, 1988. 2004 Code § 18.44.020.)

18.84.030 Standards.

In the GU-1, general use district, geometric standards are:

A. Lot Area.

1. In the GU-1 district, lot area shall not be less than 40,000 square feet.
2. Exceptions to Lot Area Requirements. See Chapter 18.96 FNSBC.

B. Required Yards for All Buildings. Front, side and rear yards shall not be required.

C. Building Height. Unlimited.

D. One hundred percent lot coverage. (Ord. 2016-12 § 4, 2016; Ord. 88-010 § 2, 1988. 2004 Code § 18.44.030.)

2001-017528-0

Recording Dist: 401 - Fairbanks
9/4/2001 8:58 AM Pages: 1 of 1

Y28657E

Filed for Record at Request of:
Yukon Title Company, Inc.

A
L
A
S
K
A



AFTER RECORDING MAIL TO:

Name Michael C. Stormont
Address 828 2nd Avenue
City, State Zip Fairbanks, AK 99701

cc

Escrow Number: Y28657

Statutory Warranty Deed

THE GRANTOR Anne H. Burnett, a single woman

Address: 7271 Richardson Highway, Salcha, AK 99714
for and in consideration of TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION
in hand paid, conveys and warrants to Michael C. Stormont

the following described real estate, situated in the Fairbanks Recording District, Fourth Judicial District, State of Alaska:

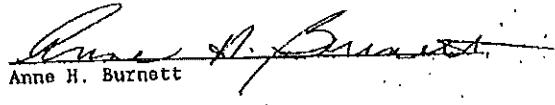
Lots 5 and 6 of the resurvey of a portion of BOONDOX SUBDIVISION, according to the plat filed August 30, 1968 as Plat Number 68-7948; Records of the Fairbanks Recording District, Fourth Judicial District, State of Alaska.

SOLD "AS-IS":

the property is sold in an "AS IS, WHERE IS" condition with no warranties implied or expressed by Grantor except those which appear in writing on the Receipt and Agreement to Purchase dated August 14, 2001

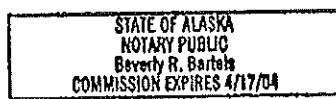
SUBJECT TO: Reservations and exceptions as contained in the U.S. Patent; Notes; Easements of record; and Covenants, Conditions and Restrictions.

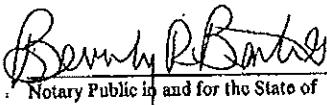
Dated this 31st day of August, 2001


Anne H. Burnett

STATE OF ALASKA }
Fourth JUDICIAL DISTRICT } ss.

The foregoing instrument was acknowledged before me this 31st day of August, 2001, by
Anne H. Burnett.




Notary Public in and for the State of ALASKA

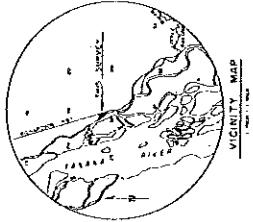
My Commission Expires: 4/17/2004

PLAT OF RESURVEY

That portion of
BOONDOX SUBDIVISION
Lot 4 Sec 30, T 4 S, R 4 E, FM
Lying West of the Richardson Highway.

Lying West of the Richardson Highway.

Lying West of the Richardson Highway.



Highway

RIVER

TAHANA

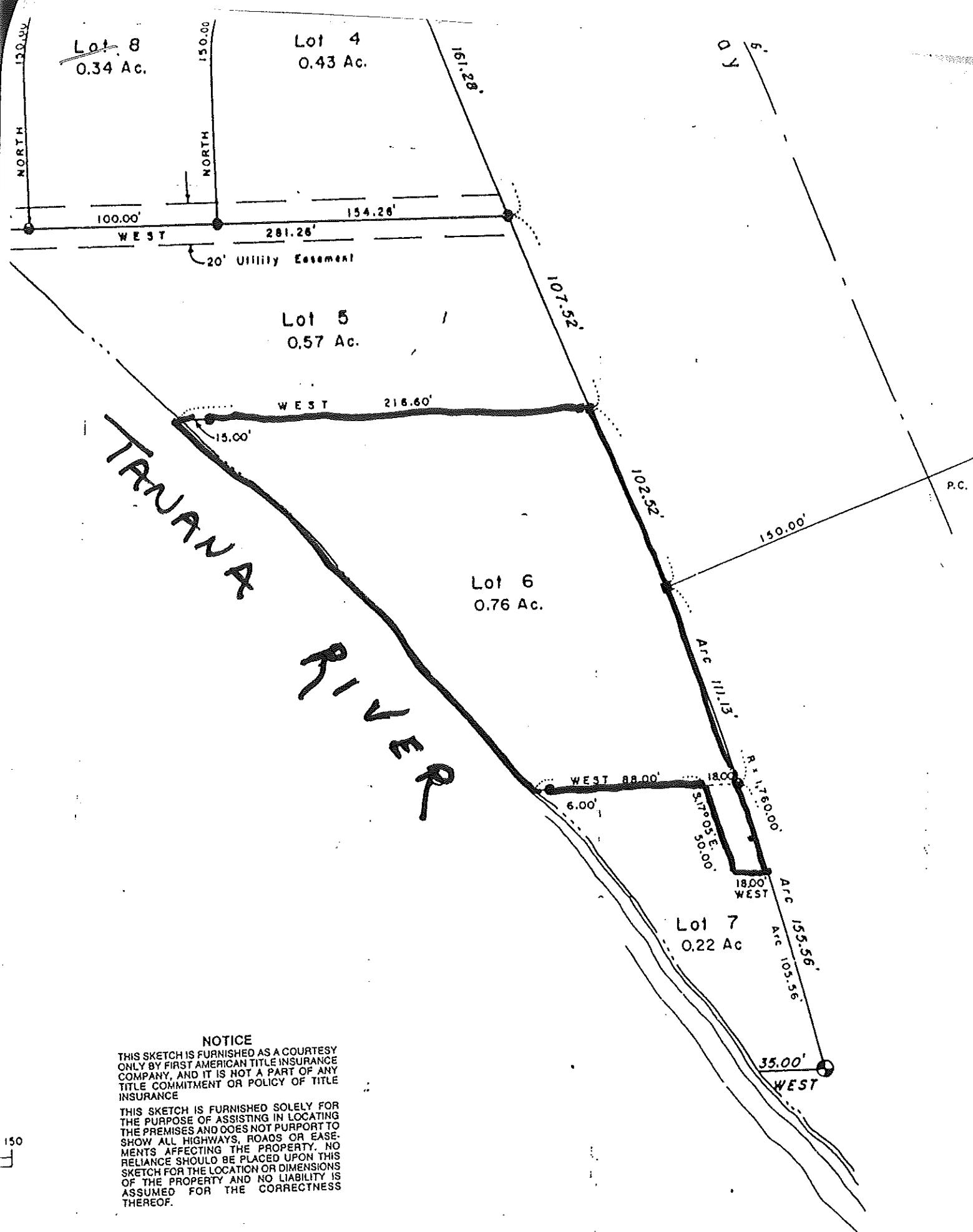
Legend:

- Line with dots: Road
- Wavy line: River
- Solid line: Property boundary

Scale: 0 1/4 1/2 1 mile

CONTINUATION OF APPENDIX OF THE PRACTICAL HANDBOOK FOR PRACTICAL SURVEYORS.

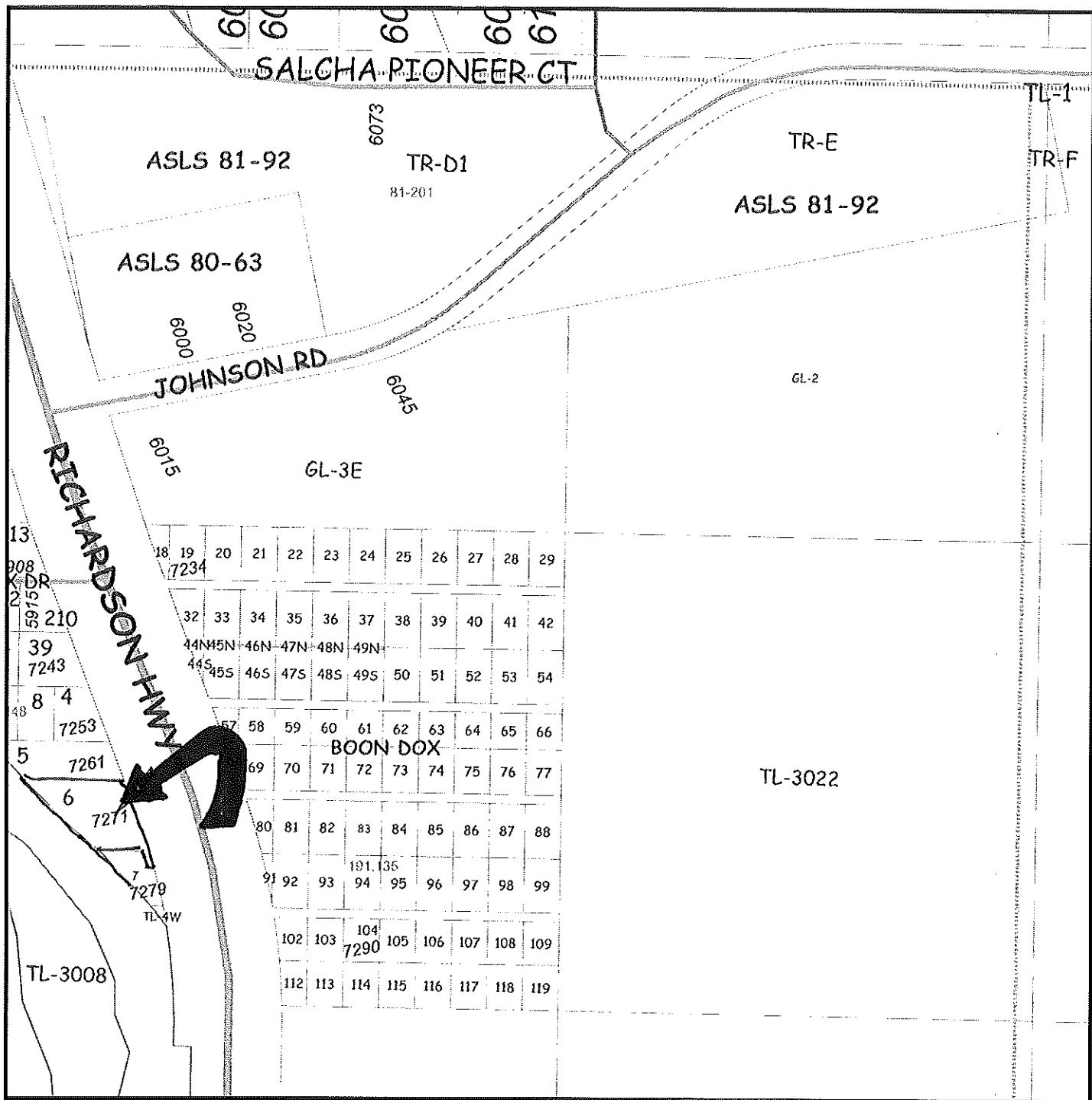
CHAPITRE 20. — 1917-1940 (1940)



Note:

This plat represents a resurvey of a portion of Boondox Subdivision, (plat thereof filed for record July 24, 1959 as Inst. No 191,135). The original property boundaries shown on the original filing have been retraced insofar as possible with certain changes as noted below.

1. Lot boundary between Lots 15 & 16 has been changed to increase the size of Lot 15.
2. Lots 13 & fraction of Lot 1 are combined into one lot.
3. Fractional Lots 2 & 10 are combined into one lot.
4. Lot 9 and fraction of Lot 3 are combined into one lot.
5. Lot 8-A had no designation on original plat.



Owner

MICHAEL STORMONT
828 2ND AVE
FAIRBANKS AK 99701

Legal

LOT 6 BOON DOX

Address 7271 RICHARDSON HWY

Tax ID	FNSB MAP	ASM Book
119741	24414	188
TRS	Zoning	Zip Code Area
F-04S-04E-30	GU-1	99714
Land App	Bldg Appr	SQ FT / ACRE
13408	188058	33105.6 0.76
Mill Rate	Primary Use	Tax Year
12.971	COMMERCIAL	2013
Est Taxes	Year Built	Tax Status
2613.22	1999	TAXABLE

Census Tract	17
Community	SALCHA-MOOSE CREEK
Elem School	SALCHA
Middle School	EIELSON
High School	EIELSON
Road Service	
Fire Service	NONE
Latitude	64.54025704
Longitude	-147.02241
MLS Area	65 765
Voling Dist	Salcha Precinct
House District	House 12
Senate District	Senate Q
Flood Zone	A
Elevation	400

(C) Copyright 2012 - Alaska Street Master 907-243-0477 - www.alaskastreetmaster.com

